

COPY



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MASTER DEED OF THE GABLES CONDOMINIUMS

Francis Newton and Mary Newton, individuals having a principal place of business at 17 Main Street, Lenox, Massachusetts 01240 (the "Declarant"), being the sole owners of the land with the building thereon known and numbered as 81 Walker Street, Lenox, Massachusetts, more fully described in Exhibit A, which is attached hereto and incorporated herein, by duly executing and recording this Master Deed with the Berkshire Middle District Registry of Deeds (the "Registry of Deeds") do hereby submit said premises to the provisions of Chapter 183A of the Massachusetts General Laws ("The Act"), and propose to create and hereby do create with respect to the premises a condominium to be governed by and subject to the provisions of Chapter 183A.

I. Name

The name of the Condominium shall be "THE GABLES CONDOMINIUMS" (the "Condominium").

II. Description of Premises

A. Land. The land upon which the building(s) and improvements are situated is described in Exhibit A (the "Land").

B. Buildings. The building(s) on the Land are described in Exhibit B attached hereto and made a part hereof.

C. Description of Units. The Condominium consists of a single building containing five dwelling units located on the land described in Exhibit A. The designations, locations, approximate areas, number of rooms, immediately accessible Common Areas, and the proportionate interest in the common areas and facilities of the Condominium of each Unit are set forth in Exhibit C, attached hereto and incorporated herein, and as shown on the site and floor plans of the Condominium, recorded herewith. The said floor plans show the layout, locations, dwelling numbers and dimensions of each Unit as built, indicate that the building is named "THE GABLES" and bears the verified statement of a Registered Architect, all as required by the provisions of Section 8 of the Act.

The boundaries of each of the Units with respect to the floors, ceilings, walls, doors and windows thereof are as follows:

1. Floors: the plane of the upper surface of the subfloor.
2. Ceilings: With respect to all units except the top floor unit, the plane of the bottommost surface of the floor joists, and other structural members appurtenant to such floor joists, of the floor above. With respect to the top floor, the plane of the bottommost surface of the roof joists and other structural members appurtenant to such roof joists.
3. Building walls. The plane of the wall studs, on exterior walls and on walls separating Units, facing the interior of the unit.

81 Walker St., Lenox, MA 01240

4. Doors and windows. Doors and windows that open from a unit are part of the unit from which they open.
5. Utility conduits. Pipe chases or other enclosures concealing pipes, wires or conduits within a unit are part of that unit, but the pipes, wires or conduits within such pipe chase or other enclosure that serve more than one unit are part of the common areas and facilities.
6. Heating. Each Unit is heated by means of a separate heating, ventilating and air conditioning system, all portions of which, whether located within or without the Unit, are a part of the Unit which it serves.
7. Utilities. Each Unit includes the ownership of all utility installations (including but not limited to a hot water heater) contained therein.
8. Fireplaces. Fireplaces, and flues located within chimneys, are part of the Unit served by such fireplace and flue. Chimneys above the roof line are part of the common area and facilities.
9. Each Unit shall have as appurtenant thereto the right to use the Common Areas and Facilities, as described in Section 4 hereof, in common with the other Units in the condominium, except for any Areas which may be specified herein.
10. Each Unit shall have as appurtenant thereto a right of ingress and egress to such Unit.

III. Common Areas and Facilities

The Common Areas and Facilities of the Condominium shall consist of the Land described in Section IIA hereof, including all improvements and recreational facilities located thereon other than the Units. Without limiting the foregoing language, the Common Areas and Facilities of the Condominium comprise and consist of:

1. In general any and all apparatus, equipment and installations existing for common use.
2. The lawns, plantings, shrubbery, landscaping, driveways, emergency access roads, roads and walkways on the Land, parking areas, recreational facilities and all conduits, ducts, pipes, flues, wires, meter area and other installations or facilities for the furnishing of utility services or waste removal outside of each Unit, and the improvements thereto and thereof, including walls, retaining walls, railings, wood parapets, if any, lighting fixtures to the extent that any of the foregoing are not situated within a Unit.
3. The parking spaces on the Land designated as Common Area on the site plan recorded simultaneously herewith.
4. The swimming pool and tennis court.
5. All other elements and features of the Condominium property, however designated or described, excepting only the Units and all other elements or property situated within a Unit as herein defined and described, and all other items, listed as Common Areas and Facilities in Section 1 of The Act, and located on the Land and not referred to herein.
6. The Common Areas and Facilities shall be subject to the provisions of the by-laws of the Condominium Trust, and to all rules and regulations promulgated pursuant thereto with respect to the use and maintenance thereof.
7. In addition to and not in limitation of the rights of owners as elsewhere herein set forth and

as provided in the Act, the owner or owners of each Unit (an "Owner") shall have, as appurtenant to such Unit, the rights and easements, in common with the Owners of all other Units and subject to like rights and easements appurtenant to such other Unit; to use the Common Areas and facilities, including without limiting the generality thereof, all roads, driveways, walkways, paths, conduits, pipes, plumbing, cables, and other facilities for the furnishing of utilities and services, subject to,

- a. Any exclusive rights and easements herein granted to a particular Unit in certain facilities;
 - b. The restrictions and other provisions herein set forth; and
 - c. The rules and regulations promulgated by the Board of Trustees of the Condominium Trust (hereinafter "The Trustees").
8. The Trustees have, and are hereby granted, the right of access, at reasonable times and consistent with the comfort, convenience and safety of owners, to such areas of each Unit as reasonably need to be entered for purposes of operation, inspection, protection, maintenance, repair and replacement of Common Areas and facilities, and correction, termination, and removal of acts or things which interfere with the Common Areas and facilities or are otherwise contrary to or in violation of the provisions hereof, and also a right of access for making emergency repairs as provided for in The Act.
9. The Trustees shall also have, and are hereby granted, the exclusive right and obligation to maintain, repair, replace, add to and alter the roads, ways, paths, walks, utility and service lines and facilities, recreational facilities including pool and tennis court, lawns, trees, plants and other landscaping comprised in the Common Areas and Facilities, and to make excavations for such purposes; and no Owner shall do any of the foregoing without the prior written permission of said Trustees in each instance. Subject to the restrictions set forth in Section VII hereof, and the reserved rights and easements as set forth in Sections V and VI hereof, each Owner may use the Common Areas and Facilities in accordance with their intended purposes without being deemed hereby to be hindering or encroaching upon the lawful rights of the other Owners.

V. Exclusive Use Areas

Each Unit shall have, for its exclusive use as appurtenant to it, a designated storage space in the basement area.

VI. Parking

1. There are 17 parking spaces as part of the Common Area which are available for the use of Unit Owners. Two spaces shall be designated for the exclusive use of each unit.
2. The garage contains, or will contain, five spaces. It shall be a portion of the Common Area and facilities; however, notwithstanding anything to the contrary in this Master Deed, the Declarants of this Master Deed, Francis Newton and Mary Newton, hereby expressly reserve to themselves the exclusive right to sell and convey easements, either in unit deeds or by separate easement, for the exclusive use of the garage spaces to any unit owners for such consideration as the Declarants shall decide, and such consideration shall be and remain the sole property of the Declarants. Any Unit Owner who purchases an easement for the

exclusive use of a garage space shall have the right to freely rent, license, sell or lease the easement, but only to another Unit Owner in the Condominium.

VII. Restrictions on Use

The Condominium shall be used for the following purposes only and shall be subject to the following restrictions:

1. Each Unit shall be used only for residential purposes by not more than one (1) family unit or by not more than two (2) unrelated persons per bedroom, and for such other uses as are normally accessory or ancillary thereto, as defined from time to time by the town of Lenox Zoning By-Laws, and for no other use.
2. The Owner of any Unit may not add to or modify the exterior of said Unit without the written approval in each instance of the Trustees, as set forth in the Condominium Declaration of Trust.
3. Rental of Units shall be governed by provisions of the Bylaws which may be amended from time to time by the Trustees.
4. No noxious or offensive activity, including hunting or the discharge of weapons, shall occur near or in any Unit.
5. No livestock, horses, cows, sheep, goats, pigs, poultry, bees or other barnyard animals of any description shall be kept or maintained on the Common Areas or in any Unit, but ordinary and usual domestic dogs, cats and birds may be kept in reasonable numbers by any Unit Owner during such time as such Unit is occupied. After due notice and hearing, the Trustees may require any Unit Owner to dispose of any pet which has been habitually guilty of violating any applicable law or regulation or damage property of any Unit Owner or occupant.
6. In the event of destruction of a Unit by fire or other casualty, the exterior of the replacement Unit shall be identical to the original Unit.
7. No signs whatsoever, whether business, professional, designed for profit or altruism shall be maintained or permitted on any Unit, including "for sale" or "for rent" or "for lease" signs. The Units shall be designated with either numbers or letters.
8. No antennae, satellite dishes or similar apparatus shall be installed on any Unit unless approved in advance by the Trustees.
9. The exterior of any Unit shall not be altered in any matter and the interior of any Unit shall not be structurally altered, without the prior written approval of the Trustees of the Condominium Trust. A written instrument duly executed on behalf of the Trustees of the Condominium Trust and recorded with said registry of deeds shall be conclusive evidence of compliance with any covenant or restriction contained herein to the extent stated in said instrument as of the date thereof.
10. No structure, statue, monument, ornamental fixture, mailbox, game or recreational equipment shall be erected, placed or maintained on the exterior of any Unit or in the Common Areas without the express written approval of the Condominium Trustees.
11. No unlawful activity or activity reasonably deemed to be offensive and contrary to the expressed intent of this Master Deed, the Condominium Trust and the duly adopted rules

and regulations of the Condominium Trust shall be permitted on the Common Areas and facilities of the Condominium. All use and maintenance of Units and the Common Areas and Facilities shall be conducted in a manner consistent with the comfort and convenience of the occupants of the other Units. No Owner may use or maintain his Unit in any manner or condition which will impair the value or interfere with the beneficial enjoyment of the other Units.

12. No firewood, logs or other woodpiles, shall be stored outside of any Unit except in the rear of the property.
13. No motor home, recreational vehicle or boat shall be parked on the parking area or driveway for longer than twenty (24) hours during any consecutive forty-eight (48) hours.
14. The Trustees shall provide for the lawn maintenance of all Common Areas, including the parking areas. Lawn maintenance shall include the installation and care of trees and shrubs.
15. The Trustees shall remove snow from the walkways and driveways and maintain same in reasonably good condition.
16. Said restrictions shall be for the benefit of each of the Owners and the Condominium Trust, and shall be enforceable by each Owner and also by the Condominium Trustees.

VIII. Percentage Interest in Common Areas and Facilities

Each Unit of the Condominium shall be entitled to an undivided interest in the Common Areas and facilities in the percentage as set forth in Exhibit C attached hereto and incorporated herein by reference. These percentage interests have been and will be computed, in conformity with Chapter 183A, upon the basis of the approximate relation which the fair market value of each unit on the date hereof bears to the aggregate fair market value of all units in the Condominium on this date.

IX. Amendments

This Master Deed may be amended by an instrument in writing signed by the owners of Units entitled to at least seventy-five percent (75%) of the undivided interest in the Common Areas and facilities, signed and acknowledged by a majority of the Trustees of the Condominium Trust, and duly recorded with the Registry of Deeds; Provided, however, that:

1. The date on which any instrument of amendment is first signed by a Unit owner shall be indicated thereon as the date thereof and no such instrument shall be of any force or effect unless it has been so recorded within six (6) months after such date;
2. No instrument of amendment which alters the dimensions of any Unit shall be of any force or effect unless it has been signed by the owner of the Unit so altered;
3. No instrument of amendment which alters the percentage of the undivided interest to which any Unit is entitled in the Common Areas and facilities shall be of any force or effect unless it has been signed by all Unit owners and said instrument is recorded as an Amended Master Deed;
4. No instrument of amendment affecting any Unit in any manner which impairs the security of a first mortgage of record held by a bank or insurance company shall be of any force or effect unless it has been assented to in writing by the holder of such mortgage;

5. No instrument of amendment which alters this Master Deed in any manner which would render it contrary to or inconsistent with any requirements or provisions of Chapter 183A shall be of any force or effect.

X. FHLMC/FNMA Compliance

To the extent required to qualify the Units of the Condominium for Unit mortgages under then prevailing regulations of the Federal National Mortgage Association ("FNMA") and the Federal Home Loan Mortgage Corporation ("FHLMC"), the provisions of this Section shall apply notwithstanding any other provisions of this Master Deed or the Condominium Trust.

1. Except as provided by Chapter 183A, in case of condemnation or substantial loss to the Units and/or Common Areas and facilities of the Condominium, unless at least 75% of the first mortgagees holding mortgages on the individual Units of the Condominium (based upon one vote for each first mortgage owned and representing at least 75% in percentage interest of the mortgaged units in the Condominium) have given their prior written approval, neither the Unit owners nor the Trustees of the Condominium Trust by amendment to this Master Deed or otherwise, shall:
 - a. by act or omission, seek to abandon or terminate the Condominium;
 - b. change the pro-rata interest or obligations of any individual Unit for the purpose of levying assessments or charges or allocating distributions of hazard insurance proceeds or condemnation awards
 - c. partition or subdivide any Unit;
 - d. by act or omission, seek to abandon, partition, subdivide, encumber, sell or transfer the Common Areas and facilities, provided, however, that the granting of easements for public utilities or for other public purposes consistent with the intended use of the Common Areas and facilities by the Condominium shall not be deemed an action for which prior approval of a mortgagee shall be required under this Subsection;
 - e. use hazard insurance proceeds for losses to any property of the Condominium (whether to Units or to Common Areas and facilities) for other than the repair, replacement or reconstruction of such property of the Condominium.
2. Except as may be otherwise provided by applicable law, any first mortgagee who obtains title to a Unit by foreclosure or pursuant to any other remedies provided in the mortgage or by law will not be liable for such Unit's unpaid common charges or dues which accrued prior to the acquisition of title to such Unit by the mortgagee.
3. Except as may be otherwise provided by applicable law, in no case shall any provision of this Master Deed give a Unit owner or any other party priority over any rights of the first mortgagee of the Unit pursuant to its mortgage in the case of a distribution to such Unit owner of insurance proceeds or condemnation awards for losses to or a taking of such Unit and/or the Common Areas and facilities of the Condominium.
4. The Trustees shall have a right of first refusal in connection with the sale of a Unit, however such right of first refusal shall not impair the rights of a first mortgagee to:
 - a. foreclose or take title to a Unit pursuant to the remedies provided in its mortgage; or
 - b. accept a deed (or assignment) in lieu of a foreclosure in the event of default by a

mortgagor; or

- c. sell or lease a Unit acquired by the first mortgagee
5. In addition to the provisions of Section IX, unless Unit owners representing at least 75% of the percentage interest in the Common Areas and facilities and at least 75 % (by percentage interest) of Eligible Mortgage Holders (hereinafter defined) have given their prior written approval, no amendment shall be adopted which would make any material change to this Master Deed. A change with respect to any of the following matters is hereby deemed to be material:
- a. voting rights;
 - b. increases in assessments that raise the previously assessed amount by more than 25%, assessment liens or the priority of such liens;
 - c. reductions in reserves for maintenance, repair and replacement of the Common Areas (or units if applicable);
 - d. responsibility for maintenance and repair of the Condominium;
 - e. reallocation of interests in the general or limited Common Areas, or rights to their use;
 - f. boundaries of any Unit;
 - g. convertibility of Units into Common Areas or into Units;
 - h. expansion or contraction of the Condominium or the addition, annexation or withdrawal of property to or from the Condominium except as provided herein;
 - i. hazard or fidelity insurance requirements;
 - j. imposition of any restrictions on the leasing of Units;
 - k. imposition of any right of first refusal or similar restriction on the right of a Unit owner to sell, transfer or otherwise convey his or her Unit;
 - l. restoration or repair of the Condominium premises (after a casualty loss or partial condemnation) in a manner other than as specified in this Master Deed and the Condominium Trust;
 - m. any action to terminate the Condominium after substantial destruction or condemnation occurs; and
 - n. any provisions that expressly benefit holders, Insurers or guarantors of mortgages on Units.
6. As used herein, an "Eligible Mortgage Holder" is any holder of a first mortgage on a Unit who has requested in writing that the Condominium Trust notify it of any proposed action. Any Eligible Mortgage Holder that does not deliver or post to the Condominium Trust a negative response within thirty (30) days of a written request by the Trustees for approval of any addition or amendment pursuant to this section, provided such written request is delivered by certified or registered mail, return receipt requested, shall be deemed to have consented to the addition or change set forth in such request. An affidavit of a majority of the Trustees making reference to this Section, when filed with the Registry of Deeds, shall be conclusive against all persons as to the facts set forth therein.
7. Consistent with the provisions of Chapter 183A, all taxes, assessments and charges which

may become liens prior to a first mortgage under local law shall relate only to the individual Condominium Units and not to the Condominium as a whole, except for real estate tax bills based on assessments made prior to the premises being converted to Condominium status.

8. Any person taking title to a Unit through a foreclosure sale duly conducted by a first mortgagee shall be exempt from any right of first refusal adopted by the Unit owners and incorporated in this Master Deed or the Condominium Trust.
9. Any lien of the Condominium Trust for common expense assessments or other charges becoming due and payable on or after the date of filing of a first mortgage on any Unit shall have priority with respect to said mortgage as provided by Chapter 183A. A lien for common expense or other assessments shall not be affected by any sale or transfer of a Unit, except that a sale or transfer pursuant to a foreclosure of a first mortgage, or deed in lieu of foreclosure, to the holder of a first mortgage shall extinguish a subordinate lien for assessments which became due and payable prior to such sale or transfer. Any such sale or transfer pursuant to a foreclosure shall not relieve the purchaser or transferee of a Unit from liability for, nor the Unit from the lien of, any assessment made thereafter.
10. Nothing in this Master Deed or in the Condominium Trust shall be construed to impair the right of each Unit owner to unrestricted ingress and egress to its Unit, which right shall be perpetual and shall run with the Land as an appurtenant right to each Unit.
11. Upon closing of the initial sale of each Unit, Declarant shall collect an amount equal to at least two months' estimated Common Area expenses for the Unit, and shall transfer such sum to the Trustees as an initial working capital fund. Said fund shall be maintained in a segregated account for the use and the benefit of the Condominium Trust. Amounts paid into the working capital fund shall not be considered as advance payment of regular assessments. The purpose of the working capital fund is to insure that there will be cash available to meet unforeseen expenditures or to acquire additional equipment or services deemed necessary or desirable by the Trustees. During the term of the Initial Trustees of the Condominium Declaration of Trust, as said term is set forth therein, the working capital fund established pursuant to this section cannot be used to defray the expenses, reserve contributions or construction costs which are the responsibility of the Declarant in its role as developer of the Condominium or to make up budget deficits.
12. Unless otherwise required by applicable law, any holder, insurer or guarantor of a first mortgage on a Unit, upon written request to the Trustees of the Condominium Trust, which includes its name and address and the Unit against which the mortgage in question has been placed, will be entitled to:
 - a. timely written notification of any condemnation or casualty loss that affects either a material portion of the Condominium or the Unit on which it holds the mortgage;
 - b. timely written notification of any 60-day delinquency in the payment of assessments or charges owed by the owner of the Unit on which it holds the mortgage;
 - c. timely written notification of a lapse, cancellation or material modification of any insurance policy or fidelity insurance coverage maintained by the Condominium Trust;
 - d. timely written notification of any proposed action that requires the consent of a specified percentage of "Eligible Mortgage Holders", as hereinafter defined;
 - e. inspect the books and records of the Condominium Trust during normal business hours or as otherwise specified in Chapter 183A;

- f. timely written notice of all meetings of the Condominium Trust, and to be permitted to designate a representative to attend all such meetings.
13. The Declarant intends that the provisions of this Section and all other provisions of this Master Deed comply with the requirements of FNMA and FHLMC with respect to condominium mortgage loans and, except as otherwise required by the provisions of Chapter 183A, all questions with respect thereto shall be resolved consistent with that intention. In the event of any conflict between the percentage requirements of FNMA, FHLMC, other sections of this Master Deed and Chapter 183A with respect to any action or non-action to be taken or omitted by the Unit owners or the Trustees of the Condominium Trust, or with respect to any other matter, the greatest percentage requirement shall control.

XI. The Unit Owners' Organization

The organization through which the Unit owners will manage and regulate the Condominium established hereby is The Gables Condominium Trust under Declaration of Trust filed herewith. In accordance with Chapter 183A, the Declaration of Trust enacts By-Laws and establishes a membership organization of which all Unit owners shall be members and in which the Unit owners shall have a beneficial interest in proportion to the percentage of undivided interest in the Common Areas and facilities to which they are entitled under this Master Deed.

The names and post office addresses of the original and present Trustees of the Condominium Trust, so designated in the Declaration of Trust, are as follows:

Francis Newton	27 Main Street	Lenox, MA 01240
Mary Newton	27 Main Street	Lenox, MA 01240

XII. Chapter 183A Governs

The Units and the Common Areas and facilities, the Unit owners and the Trustees of the Condominium Trust, shall have the benefit of and be subject to the provisions of Chapter 183A in effect on the date this Master Deed is filed and registered and as it may hereafter be amended and, in all respects not specified in this Master Deed or in the Condominium Trust and the By-Laws set forth therein, shall be governed by provisions of Chapter 183A in their relation to each other and to the Condominium established hereby including, without limitation, provisions thereof with respect to removal of the Condominium premises or any portion thereof from the provisions of Chapter 183A. Should any provision of this Master Deed be in conflict with Chapter 183A, the terms of Chapter 183A shall govern.

XIII. Definitions

All terms and expressions used in this Master Deed which are defined in Chapter 183A shall have the same meanings here unless the context otherwise requires.

XIV. No Partition or Severance

Any conveyance, encumbrance, judicial sale or other transfer (voluntary or involuntary) of an individual interest in the Common Areas will be void unless the Unit to which that interest is allocated is also transferred, it being the intention hereof to prevent any severance of such combined ownership. Any such transfer purporting to affect one or more of such interests, without including all such interests, shall be deemed and taken to include the interest or interests so omitted, even though the latter shall not be expressly mentioned or described therein. No part of the interests appurtenant to any Unit may be sold, leased, transferred or otherwise disposed of, except as part of a sale, lease, transfer or other disposition of the Unit to which such interests are appurtenant, or as part of a sale, lease, transfer or other disposition of such part of the interests appurtenant to all Units.

XIV. Partial Invalidity

The invalidity of any provision of this Master Deed shall not impair or affect the validity of the remainder of this Master Deed and all valid provisions shall remain enforceable and in effect notwithstanding such invalidity.

Witness the execution hereof under seal on this 18th day of December 2007

Francis Newton

Francis Newton

Mary Newton

Mary Newton

COMMONWEALTH OF MASSACHUSETTS

BERKSHIRE, SS:

On this 18th day of December, 2007, before me, the undersigned notary public, personally appeared Francis Newton and Mary Newton, and proved to me through satisfactory evidence of identification, which were Picture ID, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

Roscoe N. Sandlin

Roscoe N. Sandlin

Notary Public

My Commission Expires February 21, 2014



EXHIBIT A
TO THE MASTER DEED OF THE GABLES CONDOMINIUM
DESCRIPTION OF LAND

The land and buildings situate in Lenox, Berkshire County, Massachusetts, bounded and described as follows:

Beginning at the southeasterly corner of land of the Trustees of Lenox Brotherhood Club, formerly of George E. Turnure, and in the northerly line of Walker Street;

Thence South $43^{\circ} 40'$ east along said northerly line twelve rods and one foot and nine inches to the westerly line of a strip of land owned by the Inhabitants of the Town of Lenox;

Thence North $46^{\circ} 20'$ east along said westerly line sixteen rods to the easterly corner of land now being described and to the line of land owned by said Inhabitants of the Town of Lenox and used as a school house lot;

Thence at right angles parallel with said line of Walker Street, North $43^{\circ} 40'$ west along the line of said school house lot twelve rods, one foot and nine inches to the northerly corner of the land being described and to the line of the aforesaid land of said Trustees of Lenox Brotherhood Club;

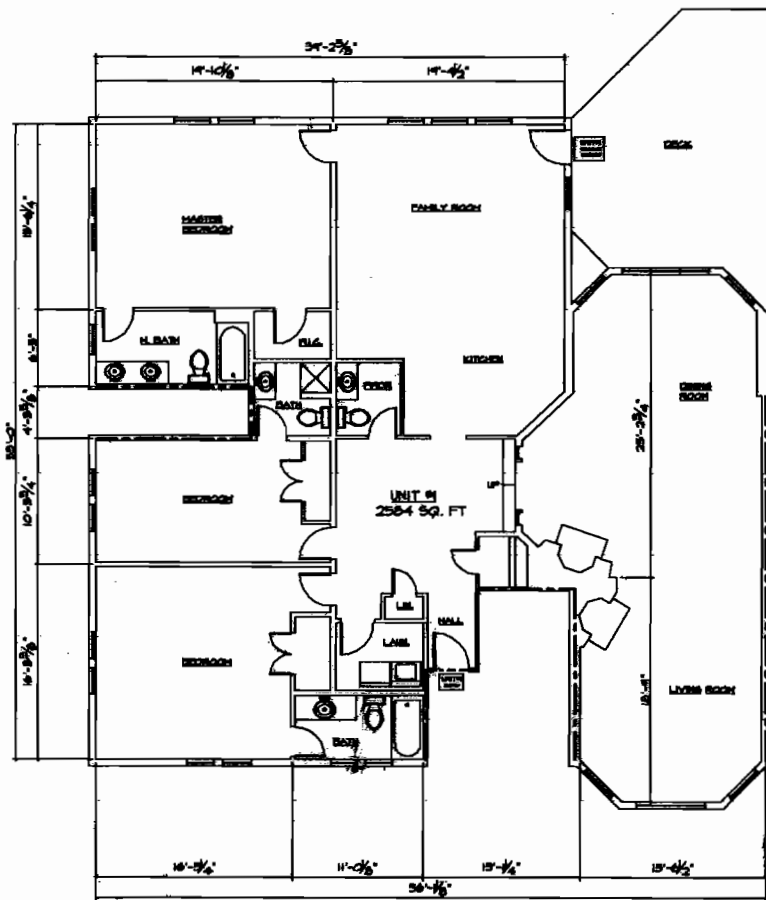
Thence at right angles South $46^{\circ} 20'$ west along said line sixteen rods to the place of beginning in said line of Walker Street and containing about one acre thirty-three rods and one hundred and ninety square feet of land.

Being the same premises conveyed by deed of Robert P. Butler, dated April 18, 1986, and recorded in the Berkshire Middle District Registry of Deeds in Book 1144 Page 286.

EXHIBIT C
TO THE MASTER DEED OF THE GABLES CONDOMINIUM
PERCENTAGE INTERESTS

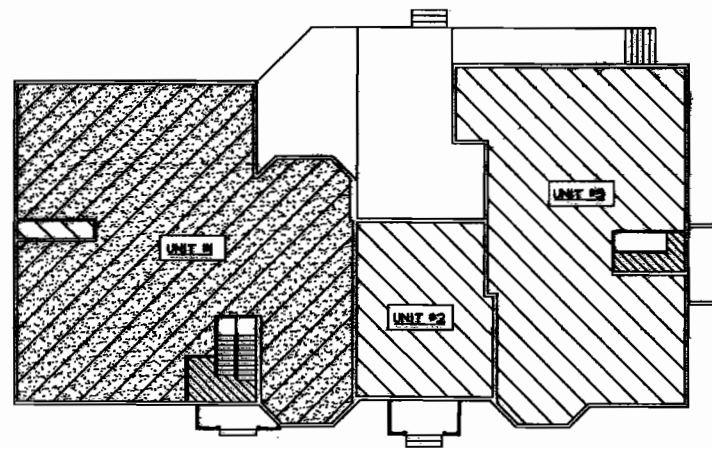
Each Unit has immediate access to Common Areas through its front, rear, and/or side doors.

Unit Designation	Unit Location	Number of rooms / number of bathrooms	Square footage of Unit	Percentage interest in Common Areas and Facilities	Immediate Common Area to which Unit Has Access
1	1 st Floor	6 3 ½	2584	23.00	Entry, stairway
2	1 st , 2 nd , & 3 rd Floor	8 2 ½	2801	25.00	
3	1 st Floor	5 2 ½	1857	16.00	Porch
4	1 st & 2 nd Floor	7 2.0	2171	19.00	Entry, stairway
5	2 nd Floor	5 2 ½	1926	17.00	Porch



FLOOR PLAN - UNIT I

SCALE: 1/16" = 1'-0"



UNIT KEY PLAN - FIRST FLOOR

SCALE: 1/32" = 1'-0"



I CERTIFY THAT THIS DRAWING SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVEYED AND OF IMMEDIATELY ADJOINING UNITS AND AREAS, AND THAT THE DRAWING FULLY AND ACCURATELY DEPICT THE LAYOUT OF THE UNIT, ITS LOCATIONS, DIMENSIONS, APPROXIMATE AREA, ENTRANCES, AND COMMON AREAS AS BUILT, AS OF DECEMBER 10, 2007.

THIS DRAWING HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

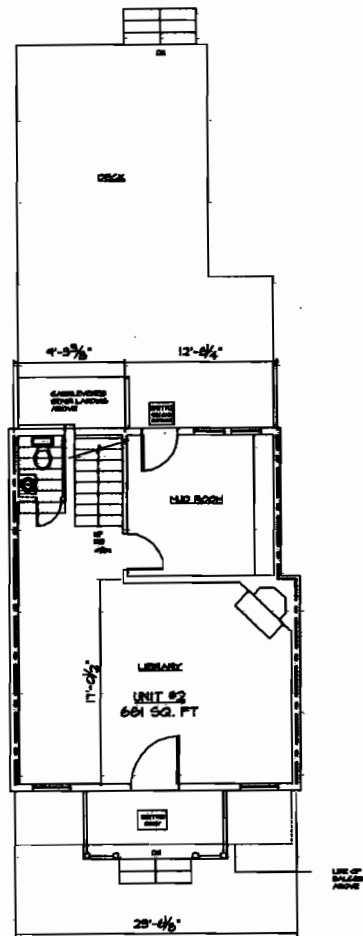
THE KEY PLAN REPRESENTS THE FLOOR CONTAINING THE UNIT AND DEPICTS COMMON AREAS, STAIRS, AS WELL AS THE OTHER UNITS ON THE FLOOR. THE DARKER CROSS HATCHED AREA IS THE UNIT BEING CONVEYED.

PAMELA SANDLER AIA
 architect
 81 Main Street
 Stockbridge
 Massachusetts 01862
 413 208-4887

THE GABLES CONDOMINIUMS

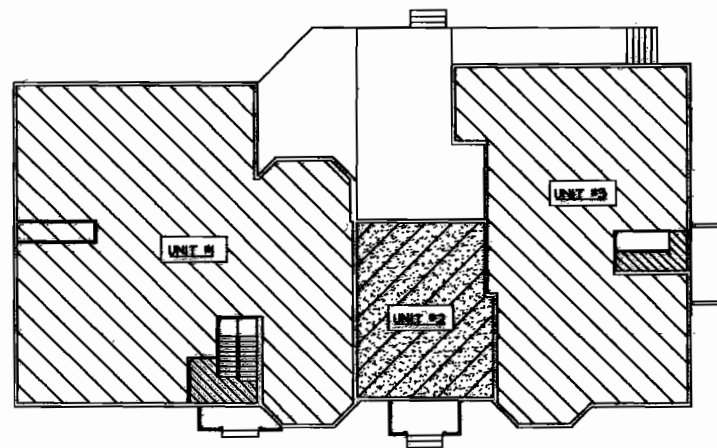
61 WALKER STREET
 LENOX, MA 01240

Date:	12.10.07
Drawn:	RRV
Appr:	
Rev.:	



FIRST FLOOR PLAN - UNIT 2

SCALE: 1/16" = 1'-0"



UNIT KEY PLAN - FIRST FLOOR

SCALE: 1/32" = 1'-0"



P. Sandler
12.10.07

I CERTIFY THAT THIS DRAWING SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVEYED AND OF IMMEDIATELY ADJOINING UNITS AND AREAS, AND THAT THE DRAWING FULLY AND ACCURATELY DEPICT THE LAYOUT OF THE UNIT, ITS LOCATIONS, DIMENSIONS, APPROXIMATE AREA, ENTRANCES, AND COMMON AREAS AS BUILT, AS OF DECEMBER 10, 2007.

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THE KEY PLAN REPRESENTS THE FLOOR CONTAINING THE UNIT AND DEPICTS COMMON AREAS, STAIRS, AS WELL AS THE OTHER UNITS ON THE FLOOR. THE DARKER CROSS HATCHED AREA IS THE UNIT BEING CONVEYED.

PAMELA SANDLER AIA
architect
31 Main Street
Stockbridge
Massachusetts 01262
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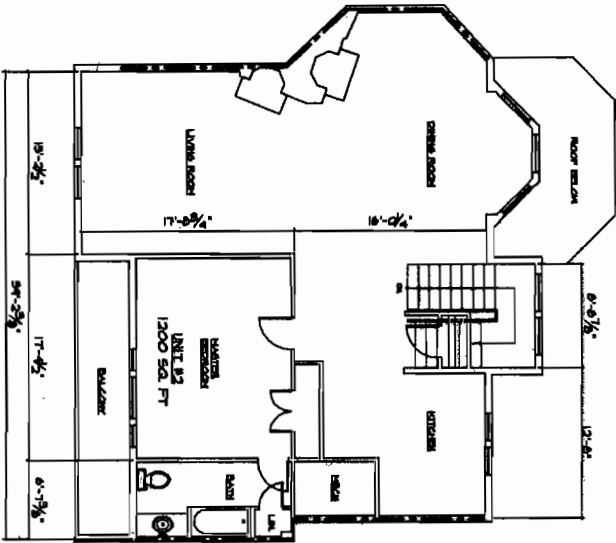


THE GABLES CONDOMINIUMS

81 WALKER STREET
LENOX, MA 01240

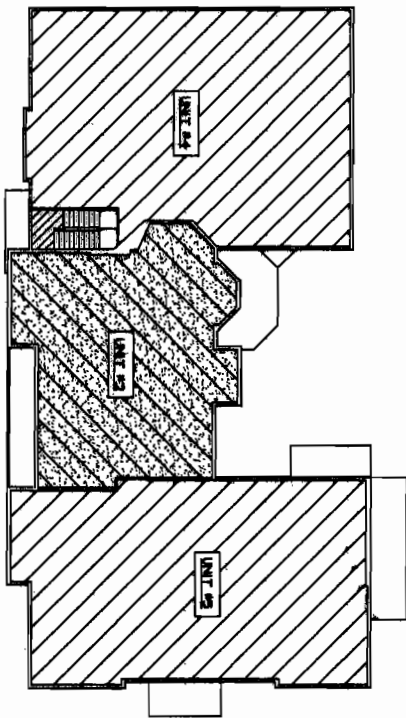
Date:	12.10.07
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Appr:	
Rev.:	

2.1



SECOND FLOOR PLAN - UNIT 2

SCALE: 1/16" = 1'-0"



UNIT KEY PLAN - SECOND FLOOR

SCALE: 1/32" = 1'-0"

I CERTIFY THAT THIS DRAWING SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVERTED AND OF IMMEDIATELY ADJOINING UNITS AND AREAS, AND THAT THE DRAWING FULLY AND ACCURATELY DEPICTS THE LAYOUT OF THE UNIT, ITS LOCATIONS, DIMENSIONS, APPROXIMATE AREA, ENTRANCES, AND COTTON AREAS AS BUILT, AS OF DECEMBER 10, 2007.

THIS DRAWING HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

THE KEY PLAN REPRESENTS THE FLOOR CONTAINING THE UNIT AND DEPICTS COTTON AREAS, STAIRS, AS WELL AS THE OTHER UNITS ON THE FLOOR. THE DARKER CROSS HATCHED AREA IS THE UNIT BEING CONVERTED.

THE GABLES CONDOMINIUMS

81 WALKER STREET
LENOX, MA 01240

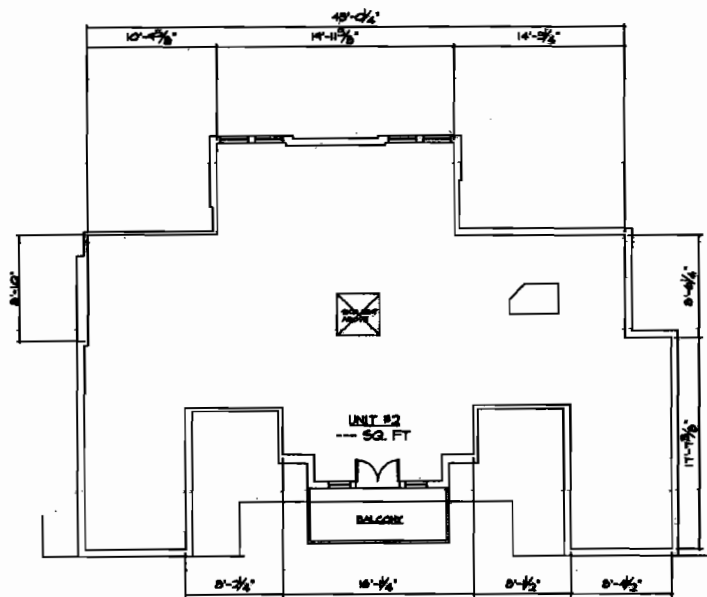


PAMELA SANDLER AIA
architect

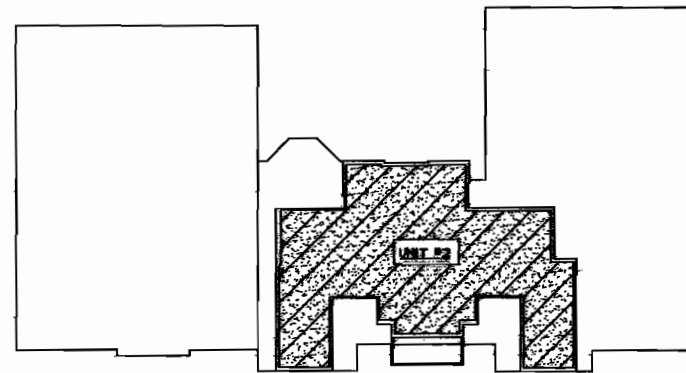
31 Main Street
Stockbridge
Massachusetts 01262
413 288-4827

Date:	12.10.07
Drawn:	RMV
Appr:	
Rev.:	

2.2



THIRD FLOOR PLAN - UNIT 2
SCALE: 1/16" = 1'-0"



UNIT KEY PLAN - THIRD FLOOR
SCALE: 1/32" = 1'-0"

REGISTERED ARCHITECT
PAMELA SANDLER
NO. 7443
STOCKBRIDGE,
MASS.
P. Sandler
12.10.07

I CERTIFY THAT THIS DRAWING SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVEYED AND OF IMMEDIATELY ADJOINING UNITS AND AREAS, AND THAT THE DRAWING FULLY AND ACCURATELY DEPICT THE LAYOUT OF THE UNIT, ITS LOCATIONS, DIMENSIONS, APPROXIMATE AREA, ENTRANCES, AND COMMON AREAS AS BUILT, AS OF DECEMBER 10, 2007.

THIS DRAWING HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

THE KEY PLAN REPRESENTS THE FLOOR CONTAINING THE UNIT AND DEPICTS COMMON AREAS, STAIRS, AS WELL AS THE OTHER UNITS ON THE FLOOR. THE DARKER CROSS HATCHED AREA IS THE UNIT BEING CONVEYED.

PAMELA SANDLER AIA
architect
31 Main Street
Stockbridge
Massachusetts 01262
413 288-4827

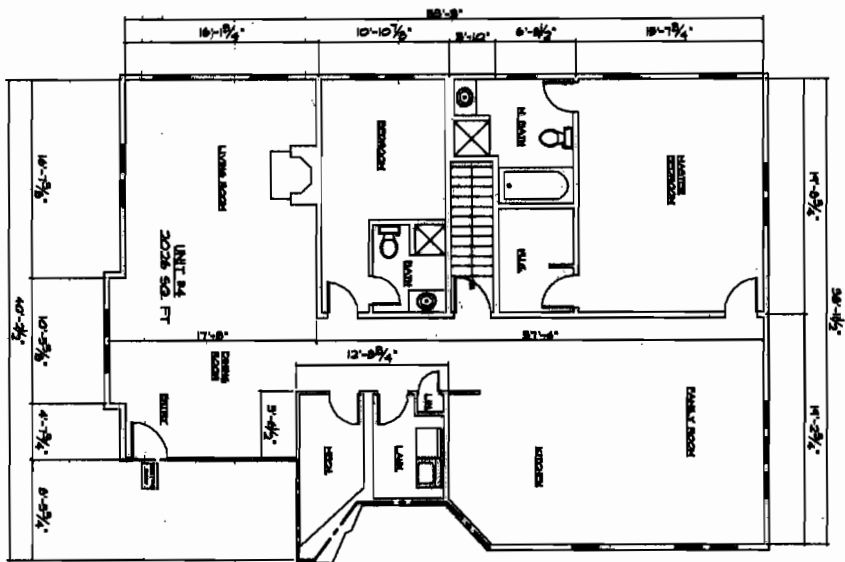


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LENOX, MA 01240

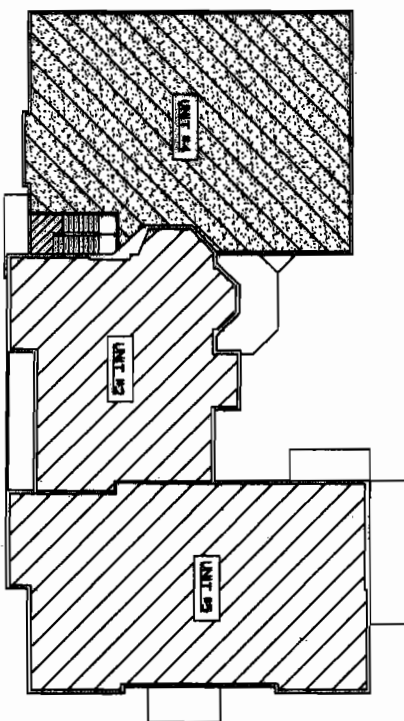
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Drawn:	RRV
Appr:	
Rev.:	

2.3



FIRST FLOOR PLAN - UNIT 4

SCALE: 1/16" = 1'-0"



UNIT KEY PLAN - SECOND FLOOR

SCALE: 1/32" = 1'-0"

I CERTIFY THAT THIS DRAWING SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVERTED AND OF IMMEDIATELY ADJOINING UNITS AND AREAS, AND THAT THE DRAWING FULLY AND ACCURATELY DEPICT THE LAYOUT OF THE UNIT, ITS LOCATIONS, DIMENSIONS, APPROXIMATE AREA, ENTRANCES, AND COTTON AREAS AS BUILT, AS OF DECEMBER 10, 2007.

THIS DRAWING HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

THE KEY PLAN REPRESENTS THE FLOOR CONTAINING THE UNIT AND DEPICTS COTTON AREAS, STAIRS, AS WELL AS THE OTHER UNITS ON THE FLOOR. THE DARKER CROSS HATCHED AREA IS THE UNIT BEING CONVERTED.

THE GABLES CONDOMINIUMS

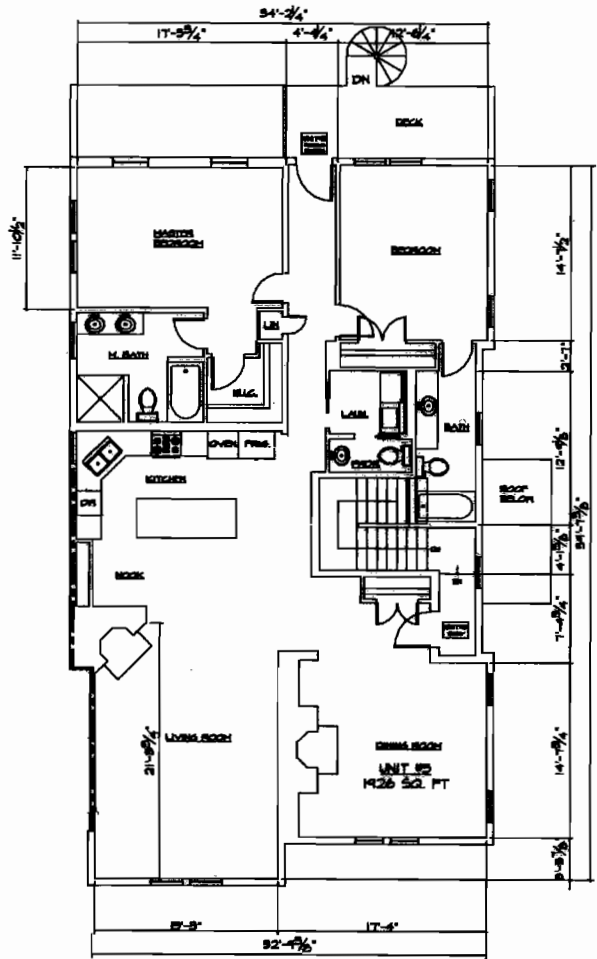
81 WALKER STREET
LENOX, MA 01240



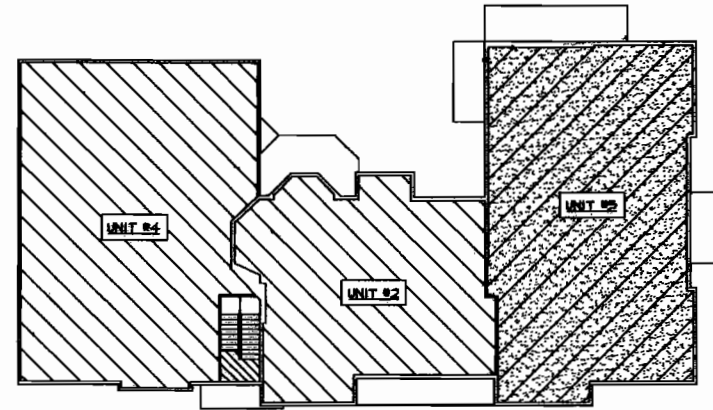
PAMELA SANDLER AIA
architect

31 Main Street
Stockbridge
Massachusetts 01262
413 298-4227

Date: 12.10.07
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Appr:
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FLOOR PLAN - UNIT 5
SCALE: 1/16" = 1'-0"

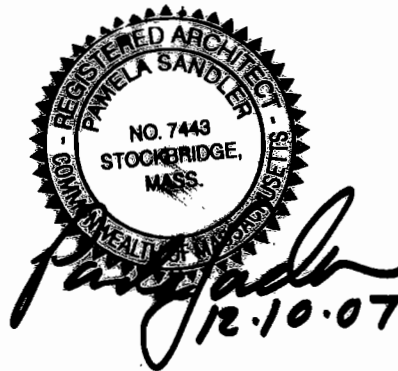


UNIT KEY PLAN - SECOND FLOOR
SCALE: 1/32" = 1'-0"

I CERTIFY THAT THIS DRAWING SHOWS THE UNIT DESIGNATION OF THE UNIT BEING CONVEYED AND OF IMMEDIATELY ADJOINING UNITS AND AREAS, AND THAT THE DRAWING FULLY AND ACCURATELY DEPICT THE LAYOUT OF THE UNIT, ITS LOCATIONS, DIMENSIONS, APPROXIMATE AREA, ENTRANCES, AND COMMON AREAS AS BUILT, AS OF DECEMBER 10, 2007.

THIS DRAWING HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

THE KEY PLAN REPRESENTS THE FLOOR CONTAINING THE UNIT AND DEPICTS COMMON AREAS, STAIRS, AS WELL AS THE OTHER UNITS ON THE FLOOR. THE DARKER CROSS HATCHED AREA IS THE UNIT BEING CONVEYED.



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5